

General Notes:

- Where a detail is shown on Structural drawings for one condition, it shall apply to all similar or like conditions, unless noted or shown otherwise on plans.
- All items shall be tightly anchored or attached square, plumb, and true, or in other planes and shapes as shown on the drawings. Joints shall be tight, even, and free of offsets. No field altering of any members will be allowed that will cause them not to be in accordance with the drawings and specifications, without written approval of the Project Engineer.
- The dimensions shown with a suffix "±" are approximate and shall be verified by the Contractor before fabrication.
- If the Contractor finds a difference between these drawings & existing conditions, or finds any other conditions which prohibit execution of the work as directed in these drawings, the Contractor shall notify the Engineer immediately.

Waterproofing Notes:

- All floor surface deficiencies shall be addressed prior to application of waterproofing. See S1.0 as required.
- The contractor is responsible for surface preparation per the manufacturer's recommendations and the direction of, but not limited to, details of these drawings (see S2.2). Upon completion of the surface preparation, the waterproofing manufacturer shall be contacted to observe and approve the surface preparation prior to application of the waterproofing system.
- Adhere to the details of S1.2 and all manufacturer's recommendations for waterproofing.
- Following waterproofing, paint striping is to be replaced where coated over. See striping plans S1.1. Product basis shall be Sherwin Williams Setfast Low VOC Acrylic Traffic Marking Paint or pre-approved equal. Striping paint shall be compatible with the coating system per representative statements or literature of both the paint and waterproofing manufacturer.
- The contractor and waterproofing manufacturer shall be responsible for a joint effort to provide a minimum 5 year warranty covering both materials and labor for the waterproofing coating.

Note:  
Underside of levels 7-10 shall be cleaned of loose paint and debris, then repainted after new structural steel is installed per S2.0 and S2.1. Provide paint specification and color for owner's approval.

Note:  
Waterproofing Coating is applied at levels 9 and 10, and in front of the ramp at level 8.




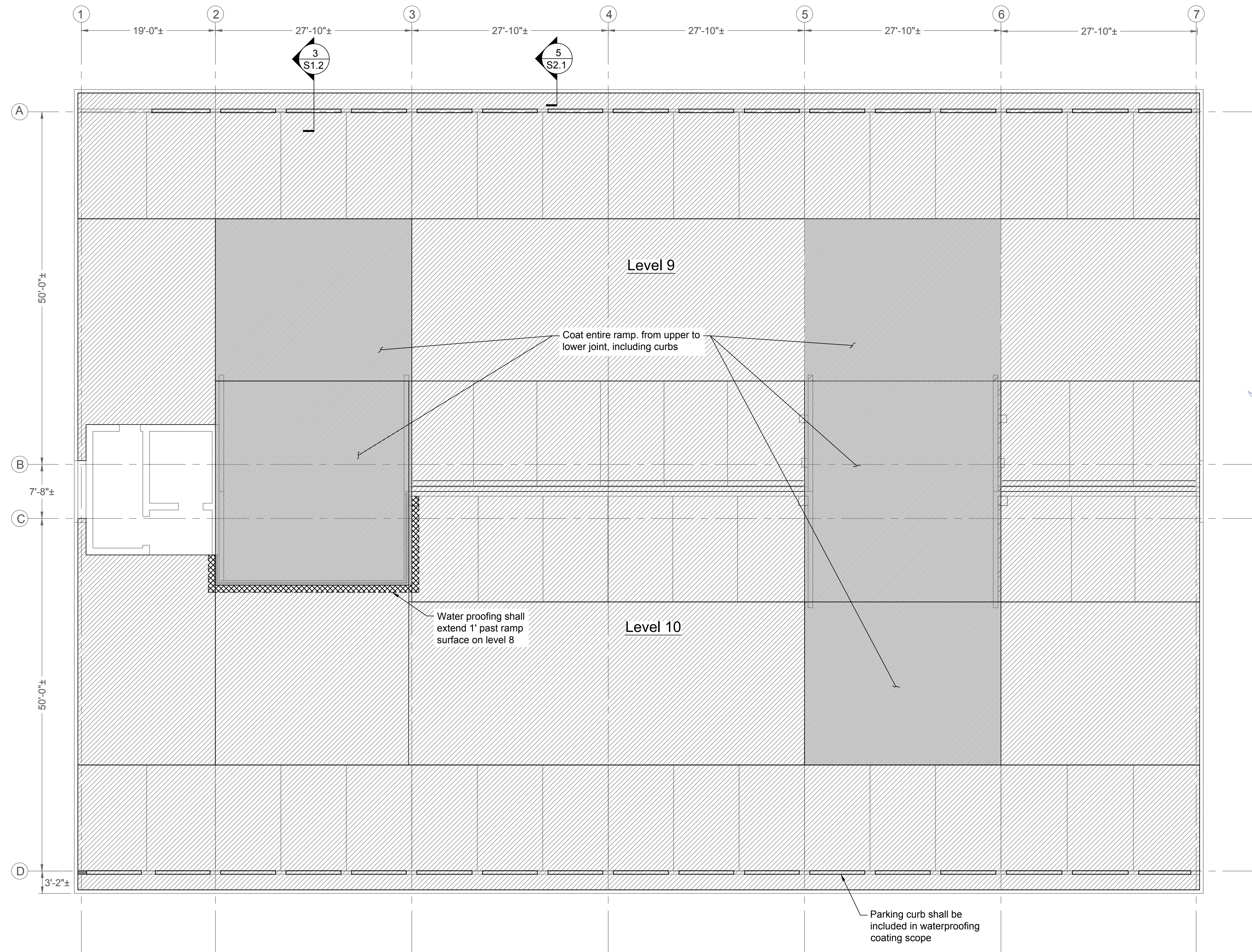
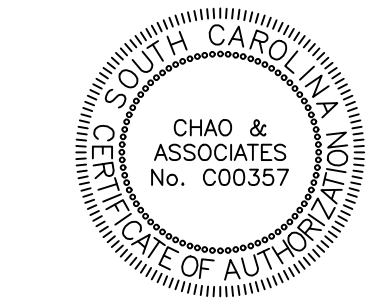
Waterproofing Coating systems per spec. 071816:	
	Extra Heavy Traffic (at and in front of ramp)
	Heavy Traffic (typical)
	Extra Heavy Traffic (in front of ramp at level 8)

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Chao & Associates, Inc.  
Civil - Structural - Survey  
7 Clusters Court  
Columbia, SC 29210  
Voice: (803) 772-8420  
Fax: (803) 772-9120  
Email: consult@chaoinc.com



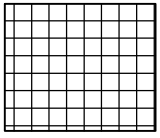
Structural Notes and Waterproofing Plan  
Hampton St. Parking Garage PN: H27-Z389  
Columbia, South Carolina

Drawn: LPL	Checked: JWH
Revised:	
File: 393254G-18S.dwg	Project No.:


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Concrete surface chipping/spalling to be patched




1/2"-1" cut for drainage trench, to be grouted and sealed, see detail 3/S2.2




Damaged parking curb to be rebuilt per 7/S2.2




Pitted concrete to be filled to level



CR Crack to be routed out and sealed, see detail 1/S1.2

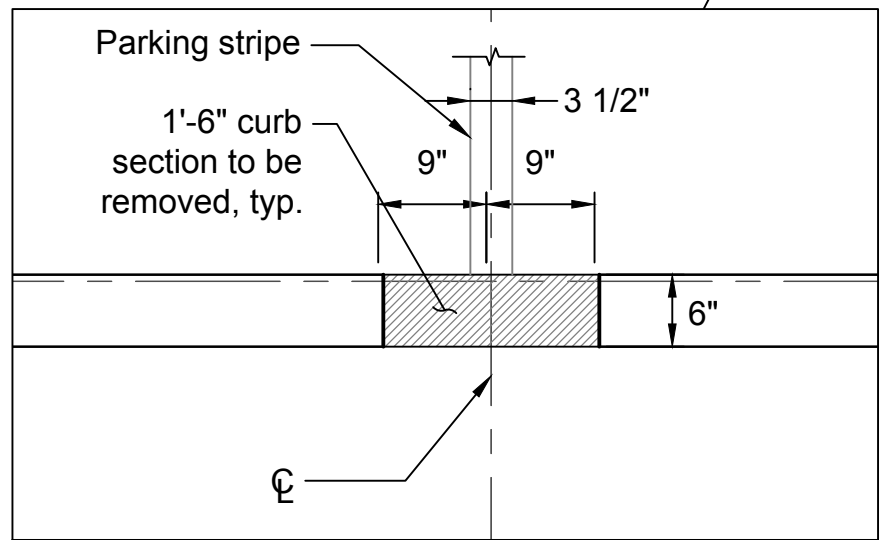
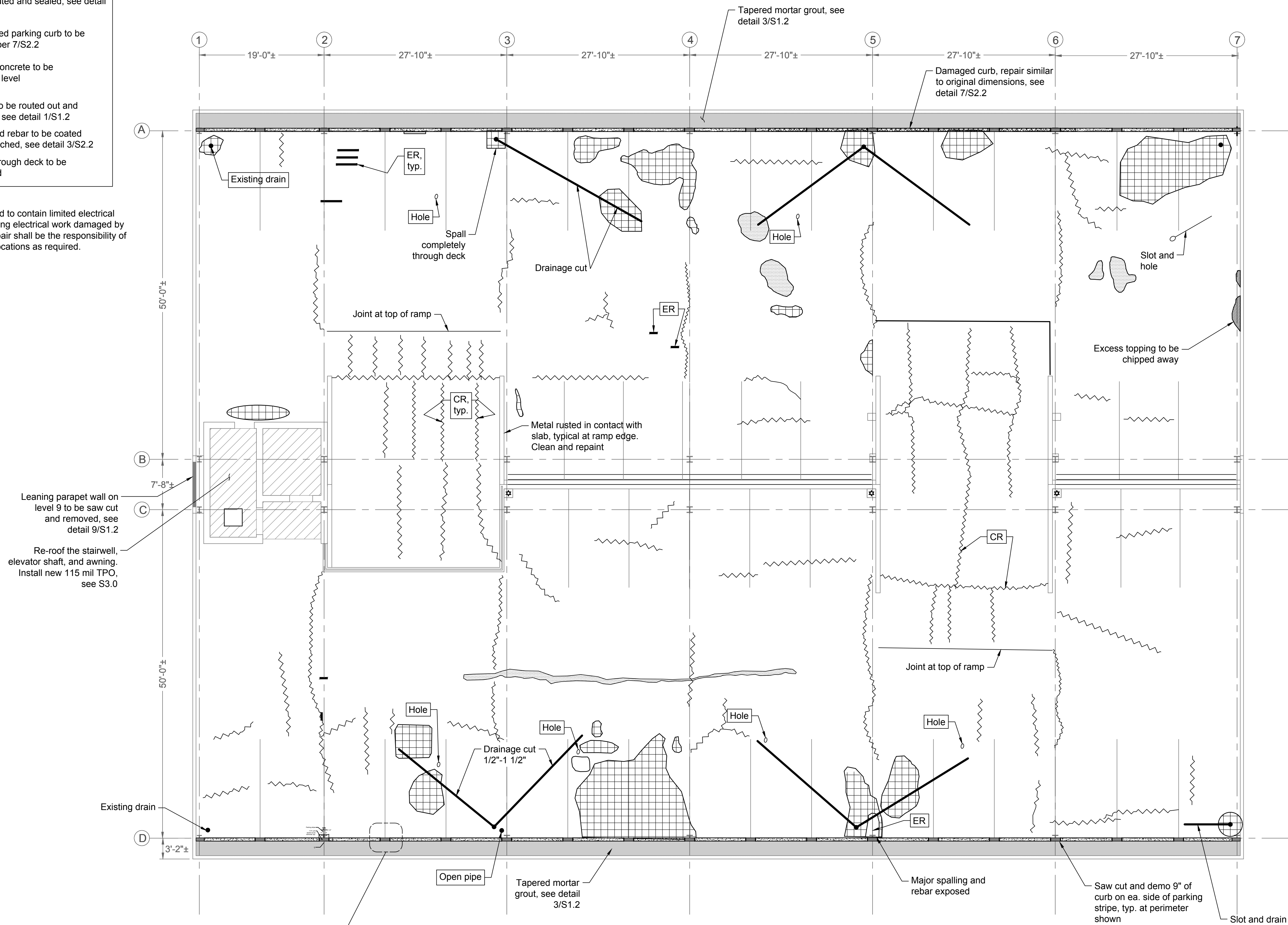


ER Exposed rebar to be coated and patched, see detail 3/S2.2



Hole Hole through deck to be plugged

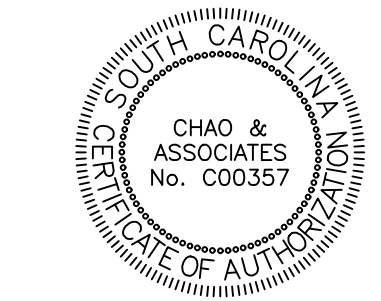
Note:  
The concrete slab is believed to contain limited electrical conduits. Any repair of existing electrical work damaged by the contractor during the repair shall be the responsibility of the contractor. Field verify locations as required.



Garage Plan (Level 9 & 10)  
Scale: 1/8" = 1'-0"



Chao & Associates, Inc.  
Civil - Structural - Survey  
7 Clusters Court  
Columbia, SC 29210  
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Fax: (803) 772-9120  
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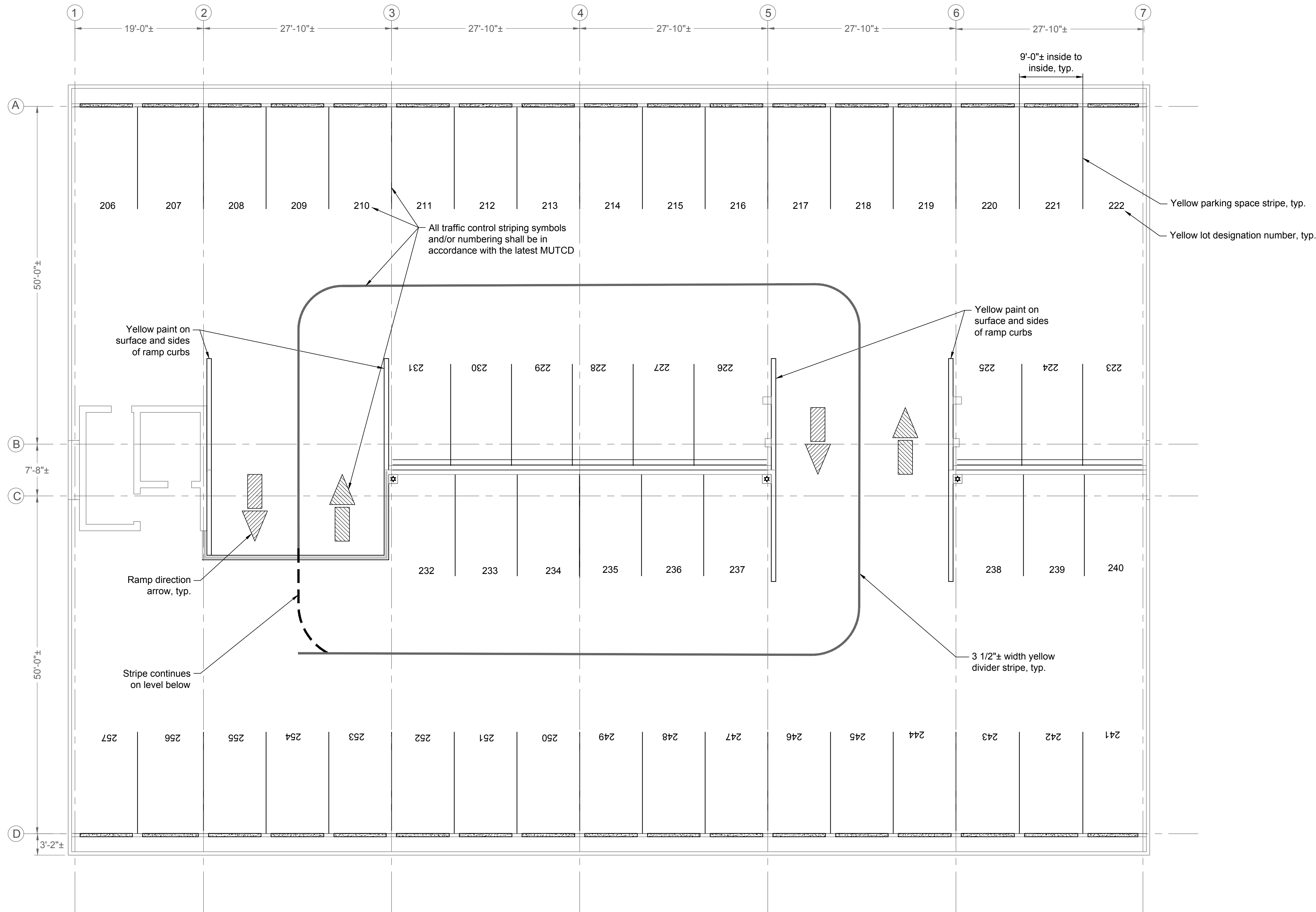


Garage Plan (Level 9 & Level 10) Deficiencies  
Hampton St. Parking Garage PN: H27-Z389  
Columbia, SC

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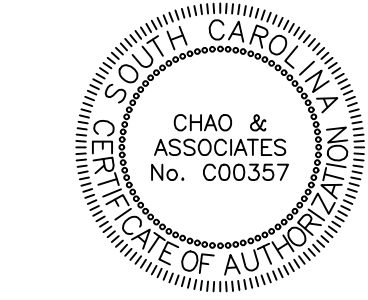


Level 9 & 10 Paint Striping Plan  
Scale: 1/8" = 1'-0"

- Notes
1. All striping yellow U.N.O. Product basis shall be Sherwin Williams Setfast Low VOC Acrylic Traffic Marking Paint or other pre-approved equal. Confirm compatibility of any alternate product submitted with traffic coating system manufacturer.
  2. The paint striping marks shown are for schematic purposes only. The intent is to restore the original paint striping to visibility after waterproofing coating is in place. Therefore GC shall field verify all existing paint striping at areas to be coated.



Chao & Associates, Inc.  
Civil - Structural - Survey  
7 Clusters Court  
Columbia, SC 29210  
Voice: (803) 772-8420  
Fax: (803) 772-9120  
Email: consult@chaoinc.com



Level 9 & 10 Paint Striping Plan  
Hampton St. Parking Garage PN: H27-Z389  
Columbia, South Carolina

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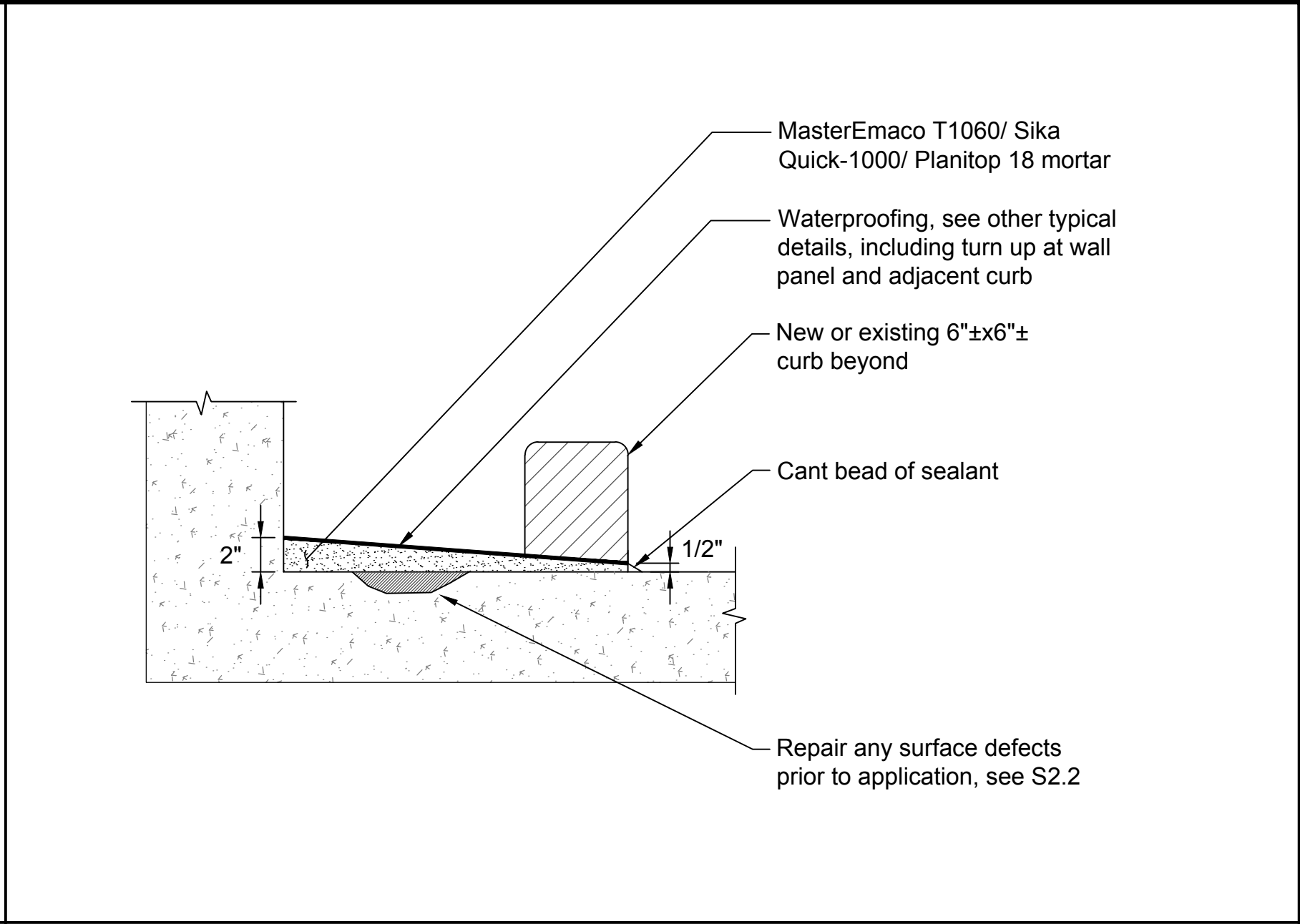
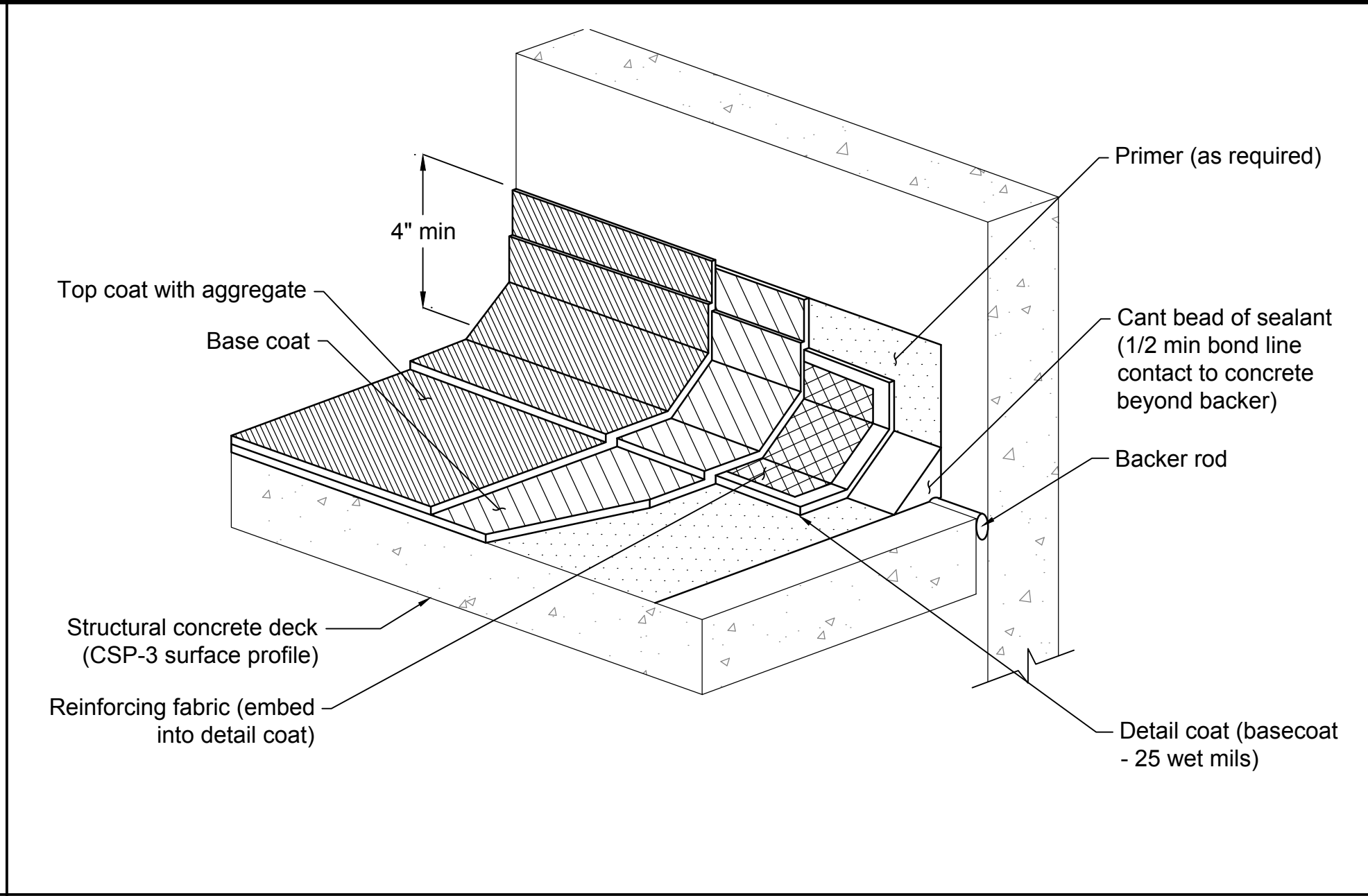
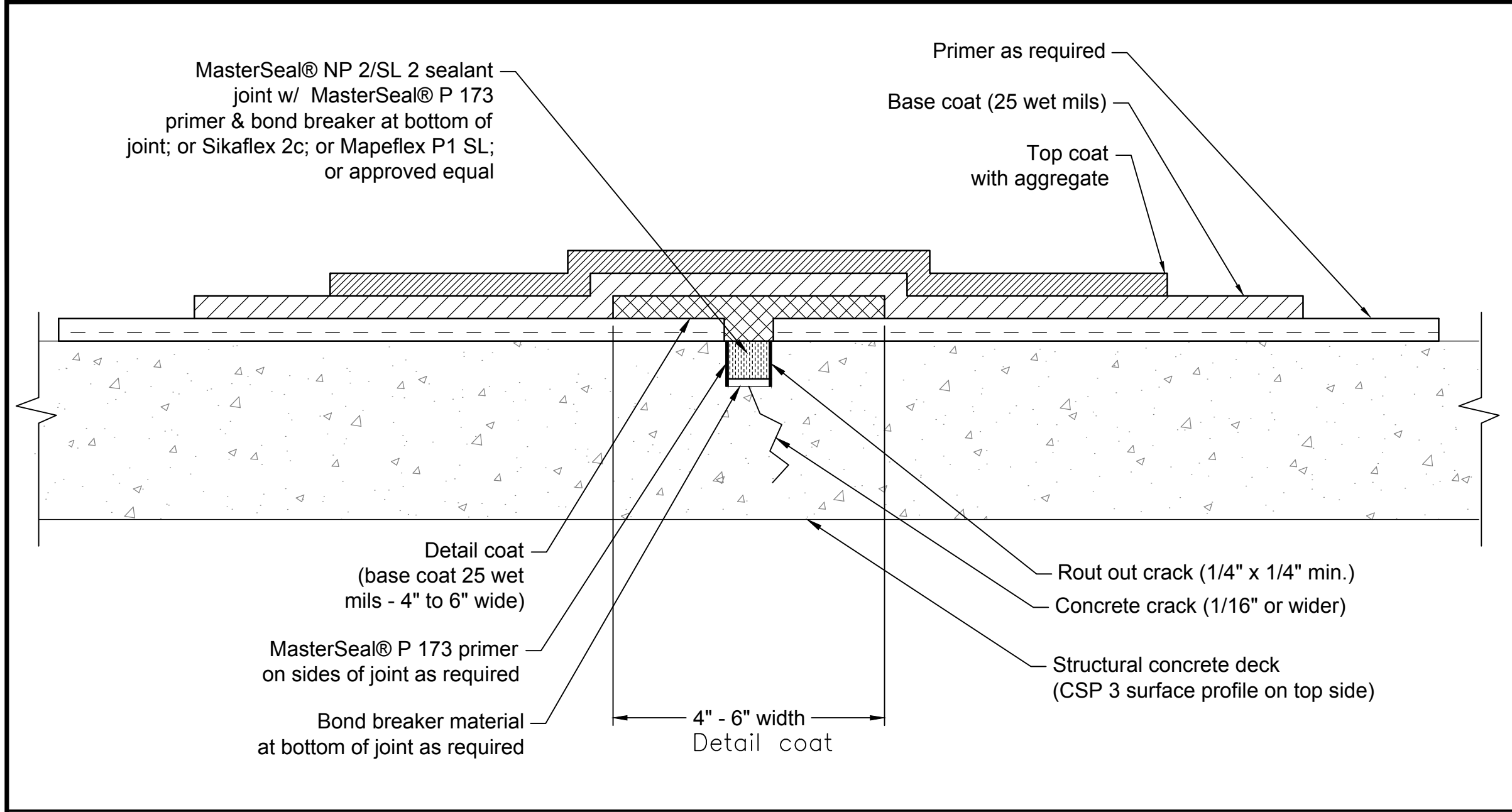
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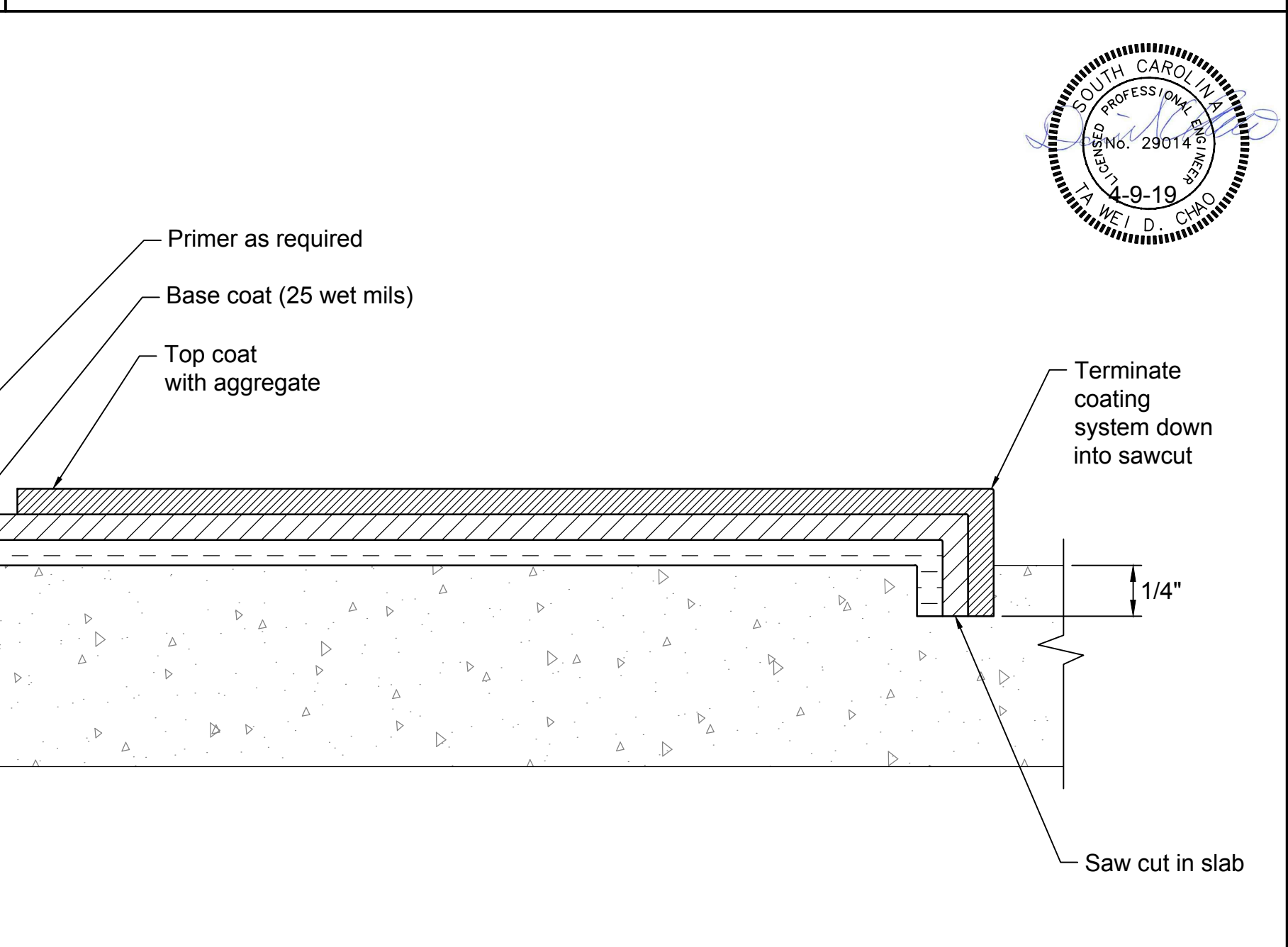
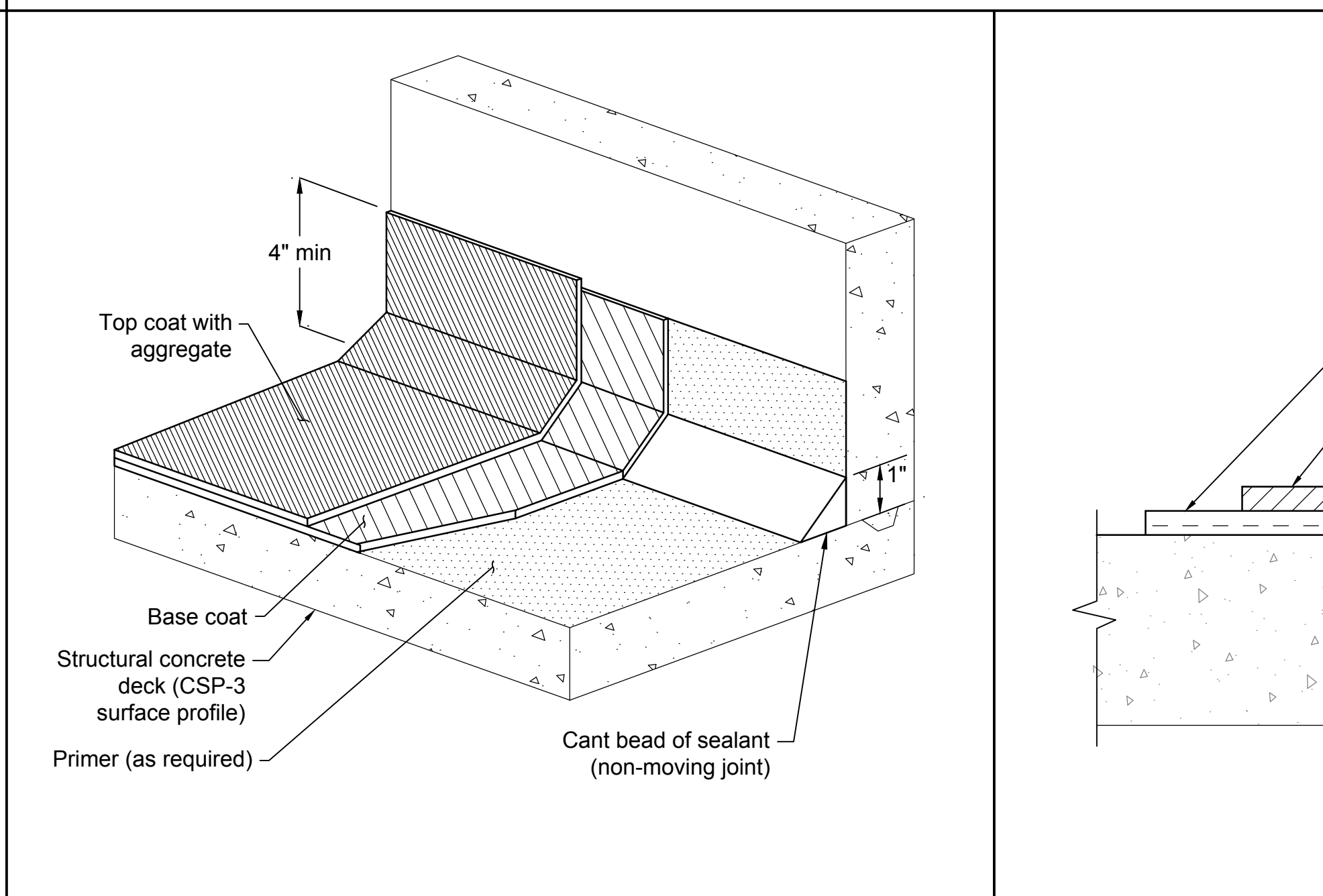
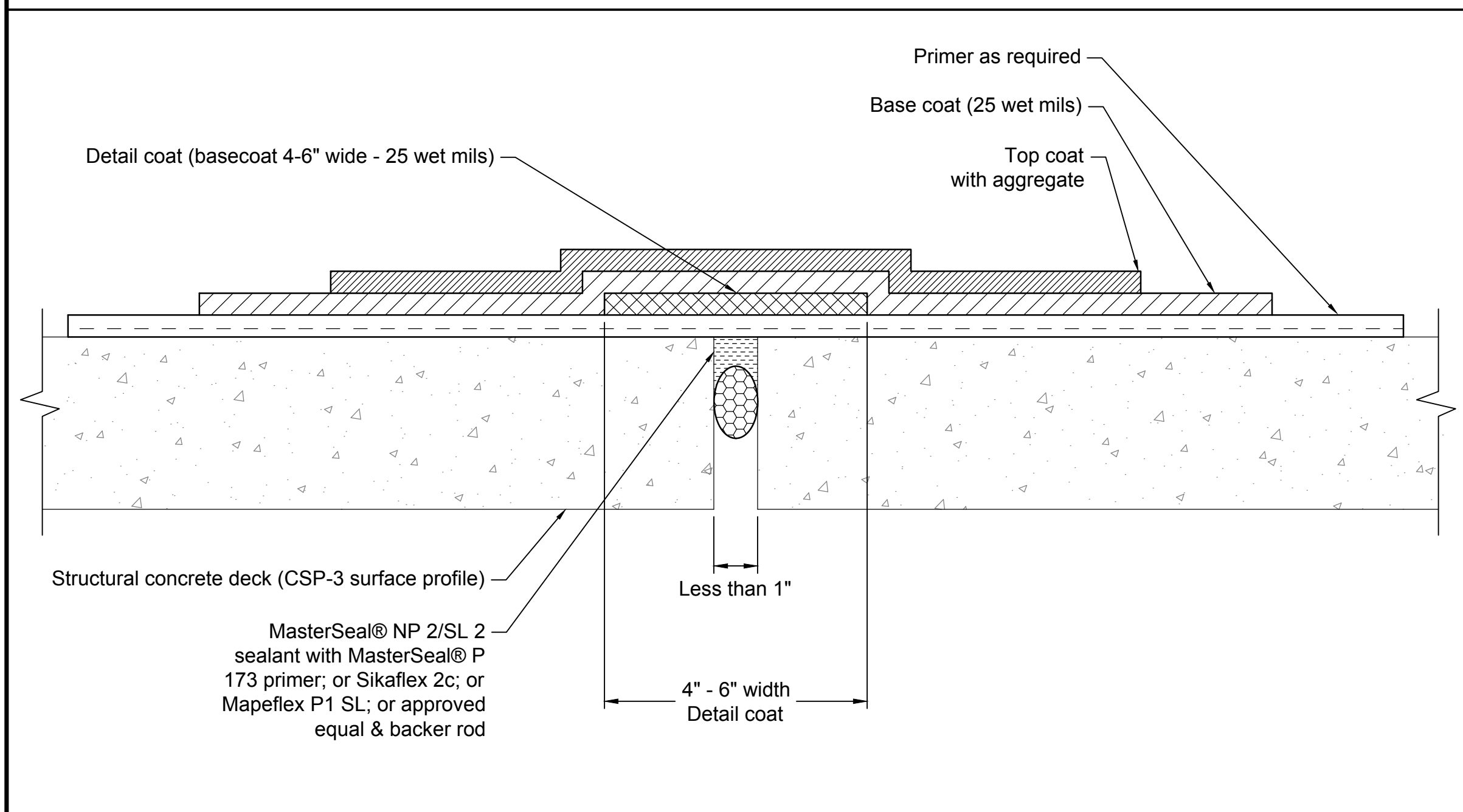




1 - Typical Crack Detail - Rout & Seal Scale: NTS

2 - Typical Dynamic Joint at Wall Panel Scale: NTS

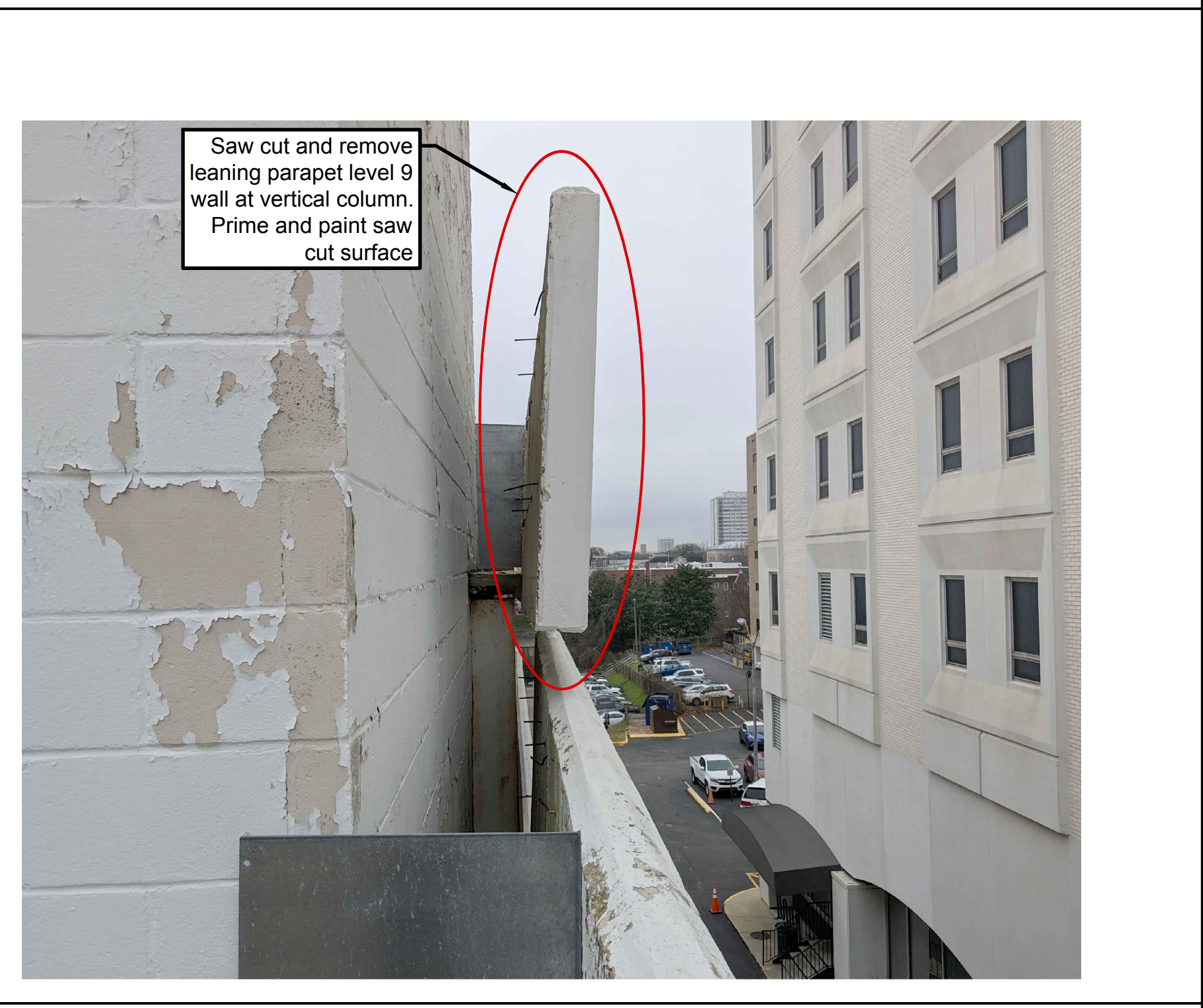
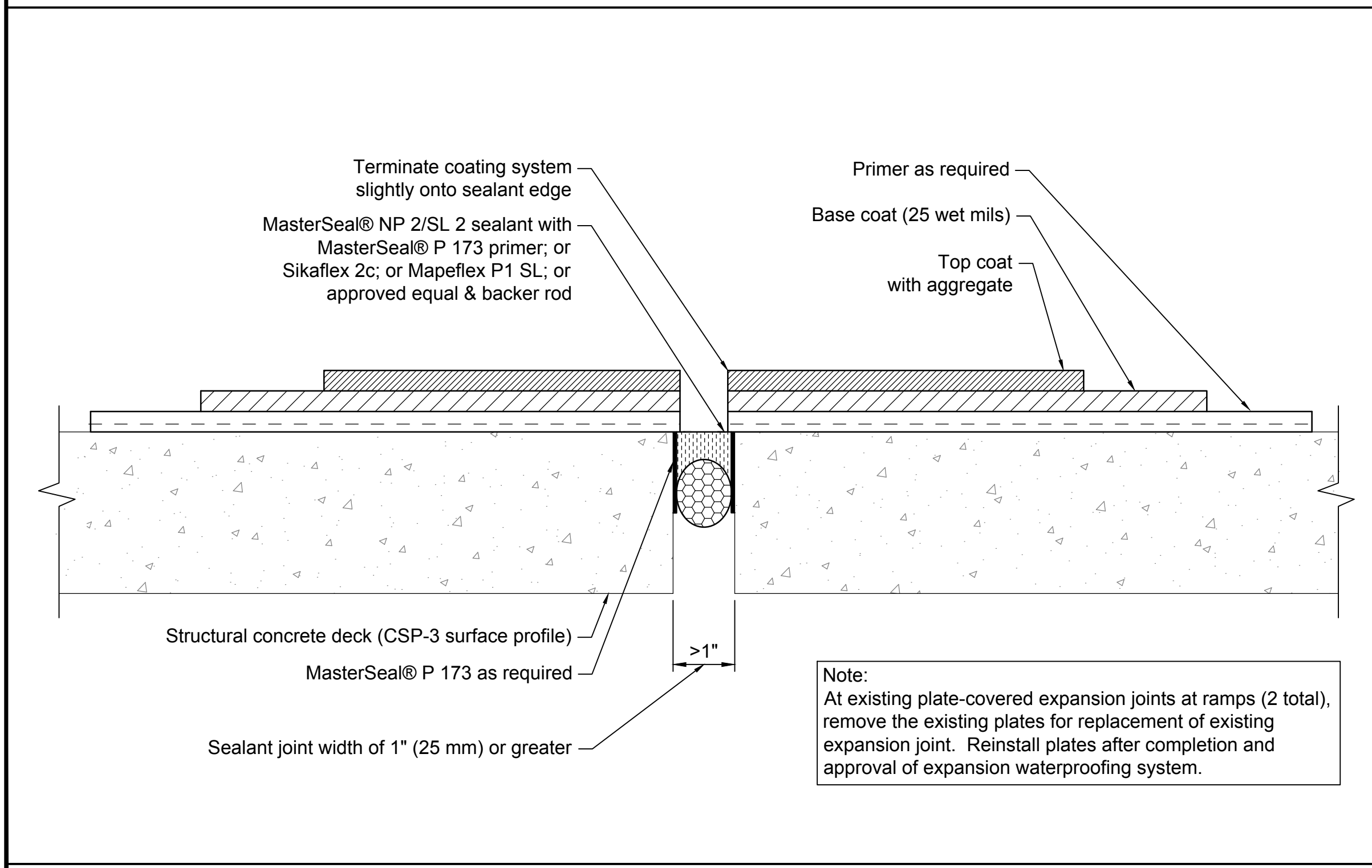
3 - Typical Scale: NTS



4 - Typical Non-Moving (Static) Sealant Joint Scale: NTS

5 - Typical Curb or Similar Scale: NTS

6 - Typical Saw Cut Termination Scale: NTS



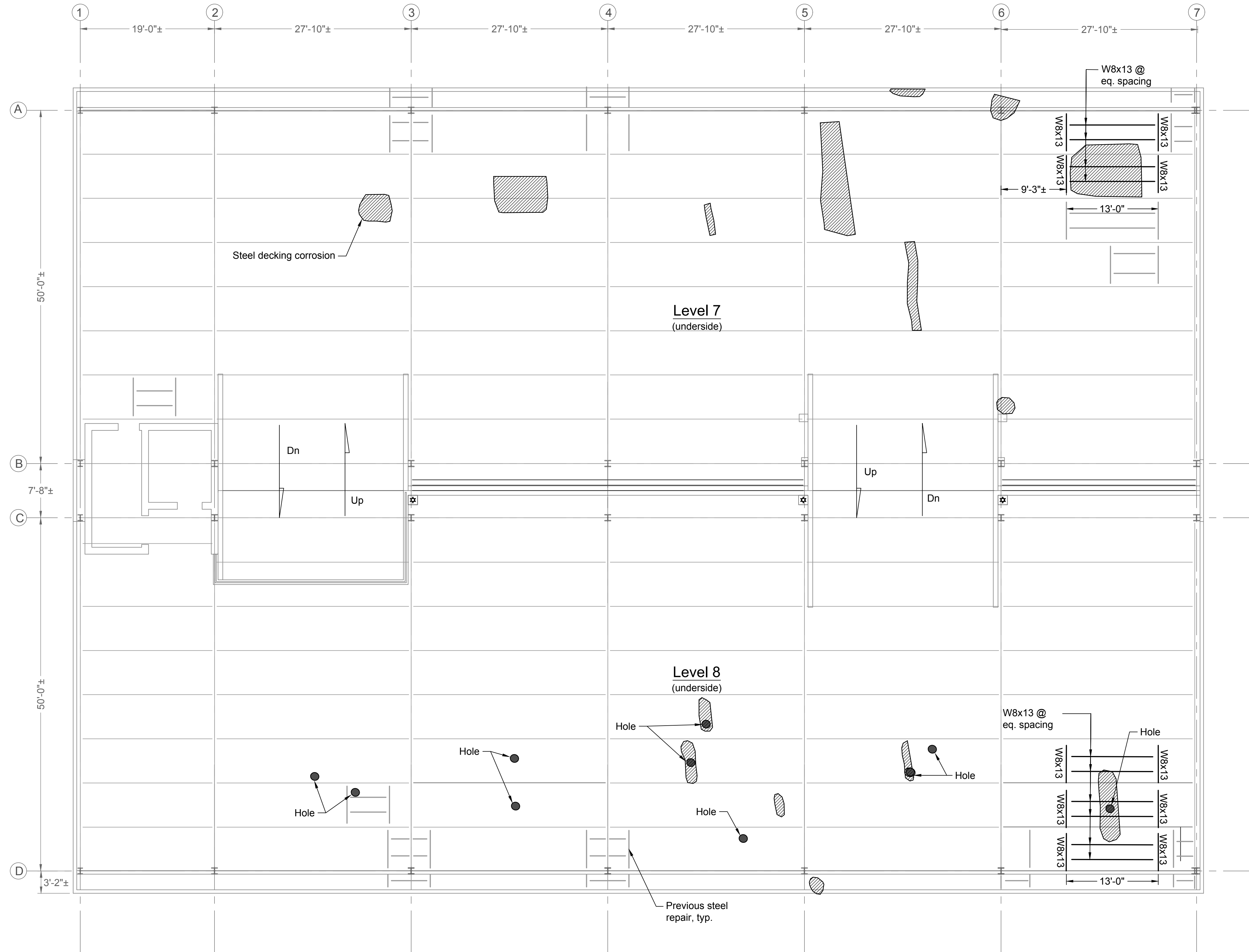
7 - Typical Treatment of Sealant Joints of 1" and Greater Scale: NTS

8 - Hanging Pan Demolition

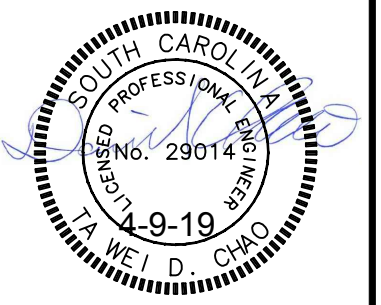
9 - Leaning Parapet Removed



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Level 7 & 8 Underside Framing Plan  
Scale: 1/8" = 1'-0"



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Civil - Structural - Survey  
7 Clusters Court  
Columbia, SC 29210  
Voice: (803) 772-8420  
Fax: (803) 772-9120  
Email: [consul@chaoinc.com](mailto:consul@chaoinc.com)



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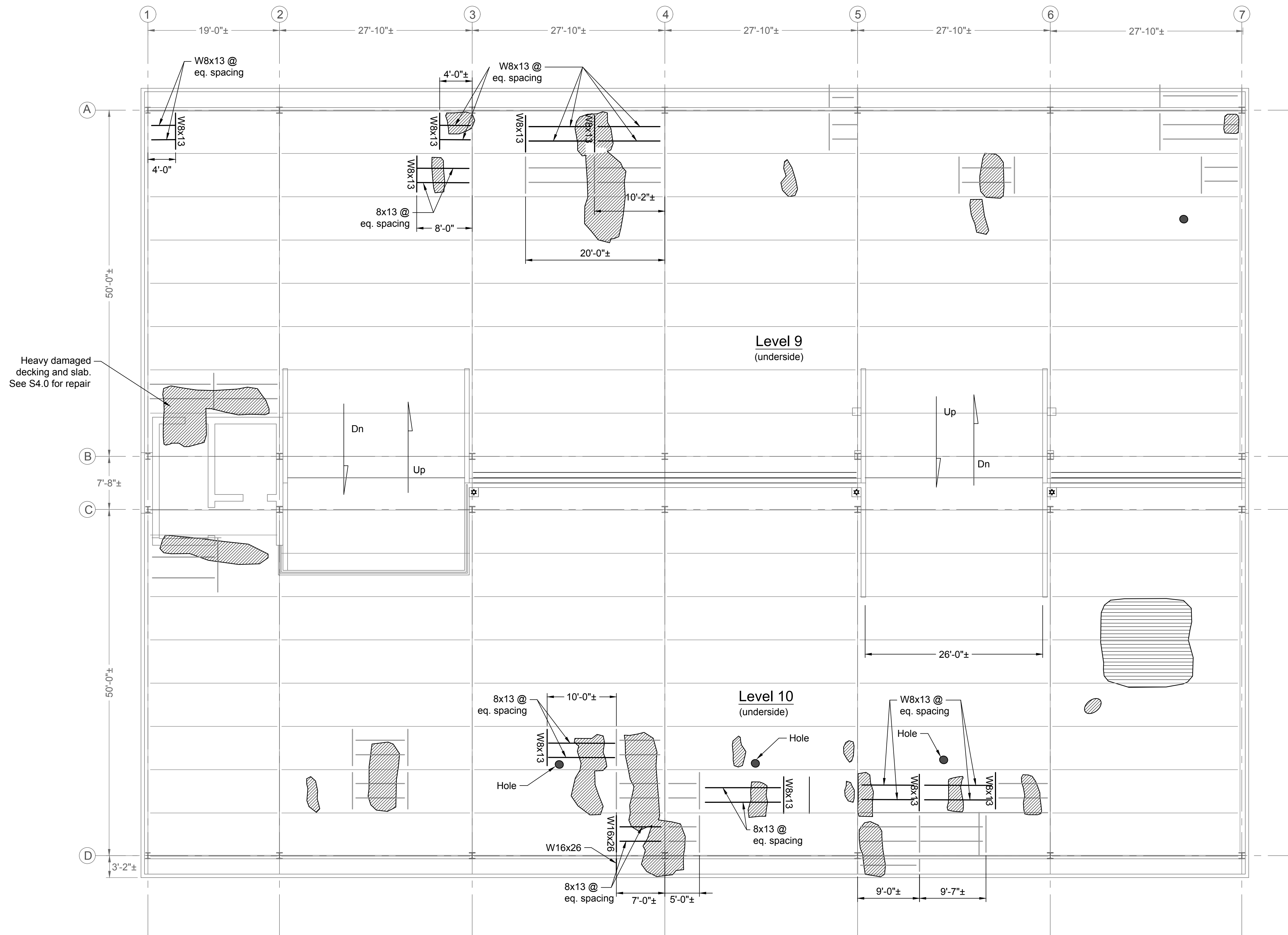
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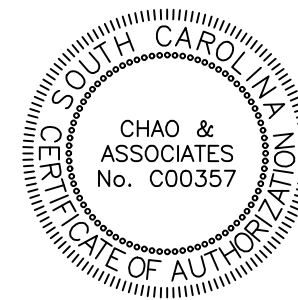
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Level 9 & 10 Underside Framing Plan  
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Chao & Associates, Inc.  
Civil - Structural - Survey  
7 Clusters Court  
Columbia, SC 29210  
Voice: (803) 772-8420  
Fax: (803) 772-9120  
Email: [consul@chaoinc.com](mailto:consul@chaoinc.com)



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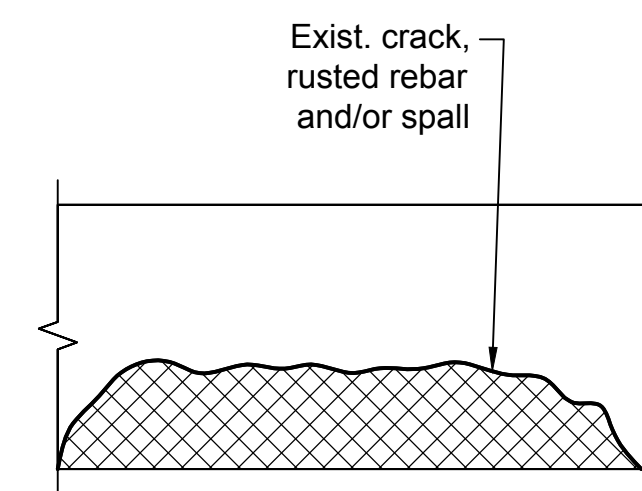
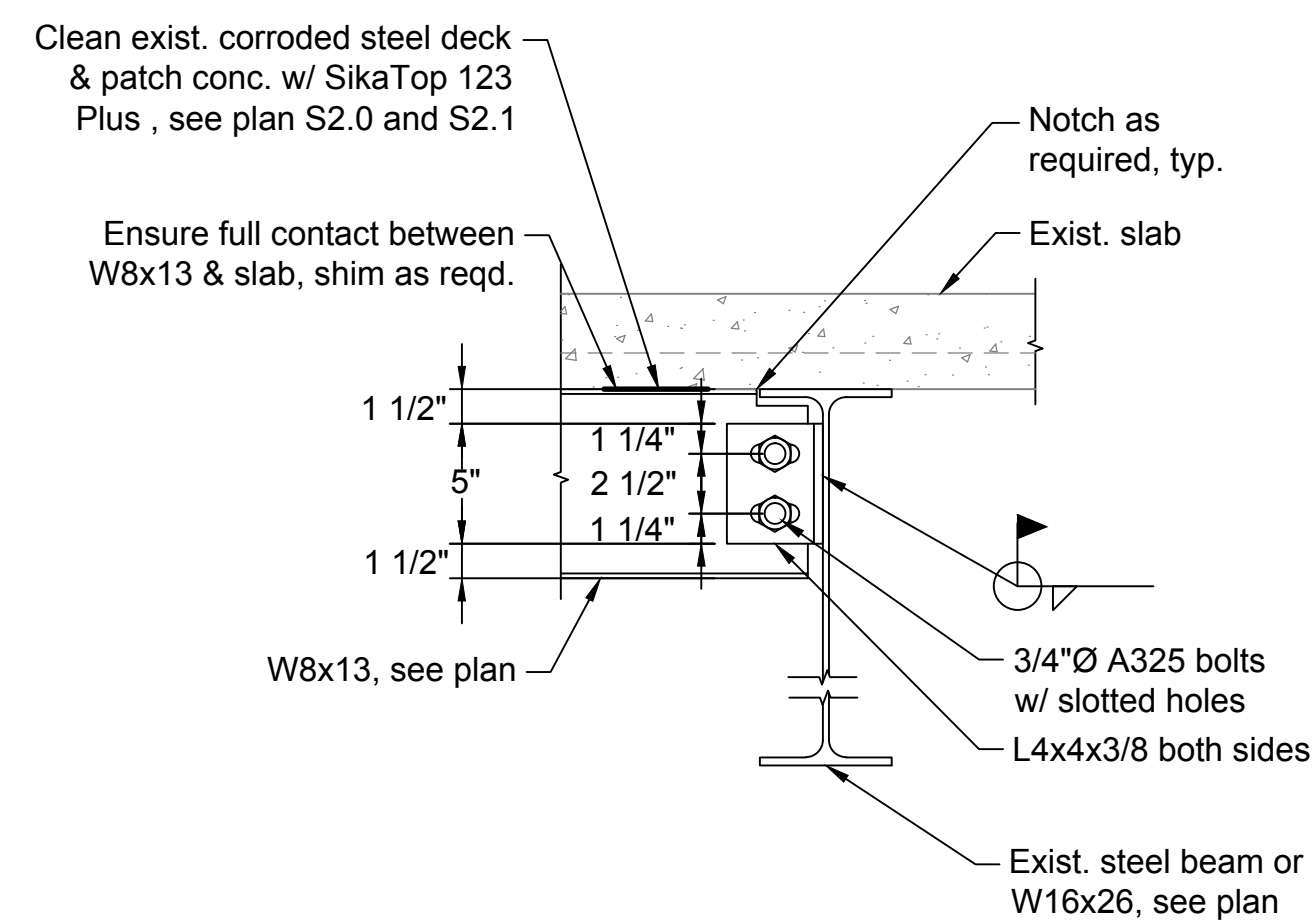
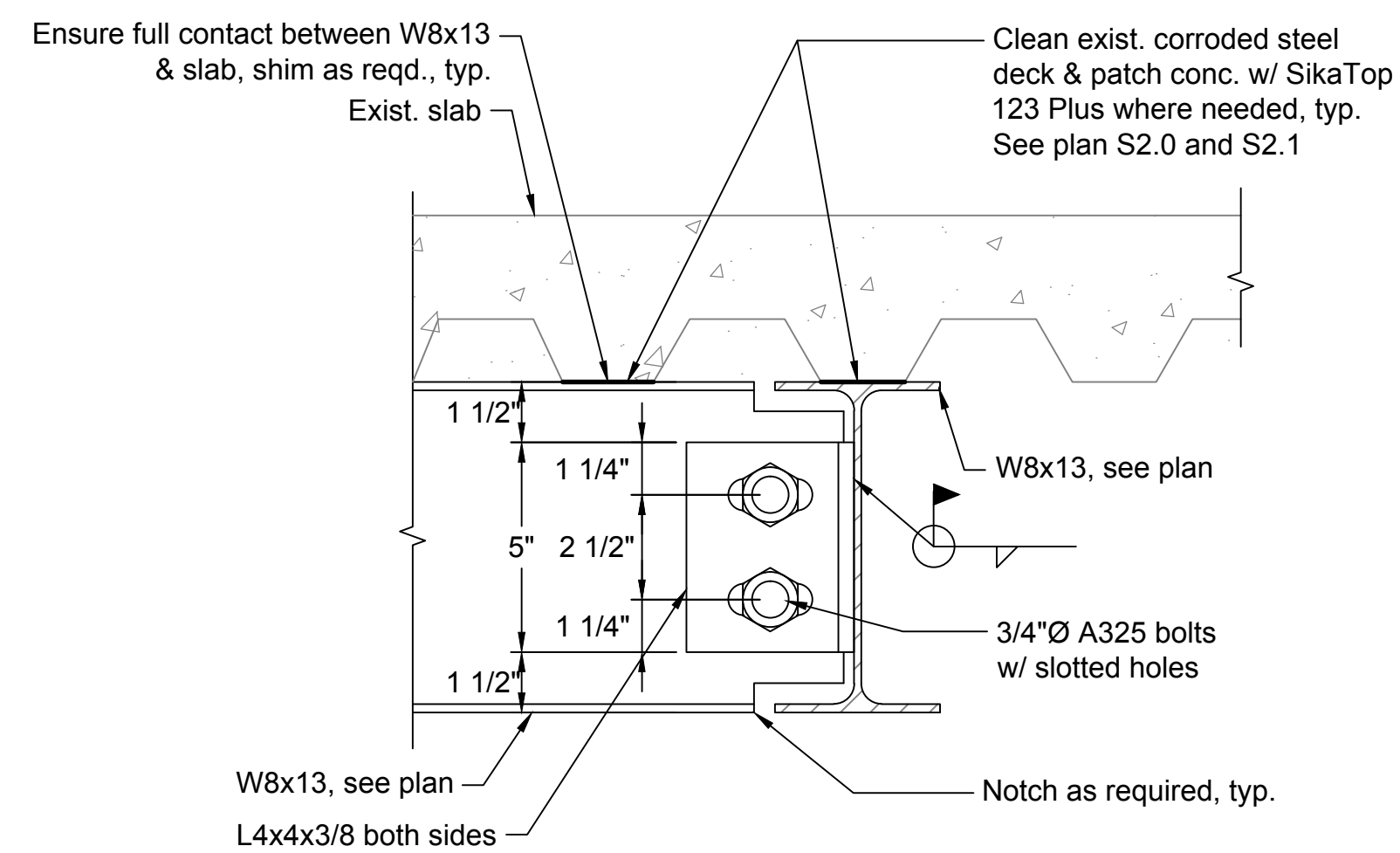
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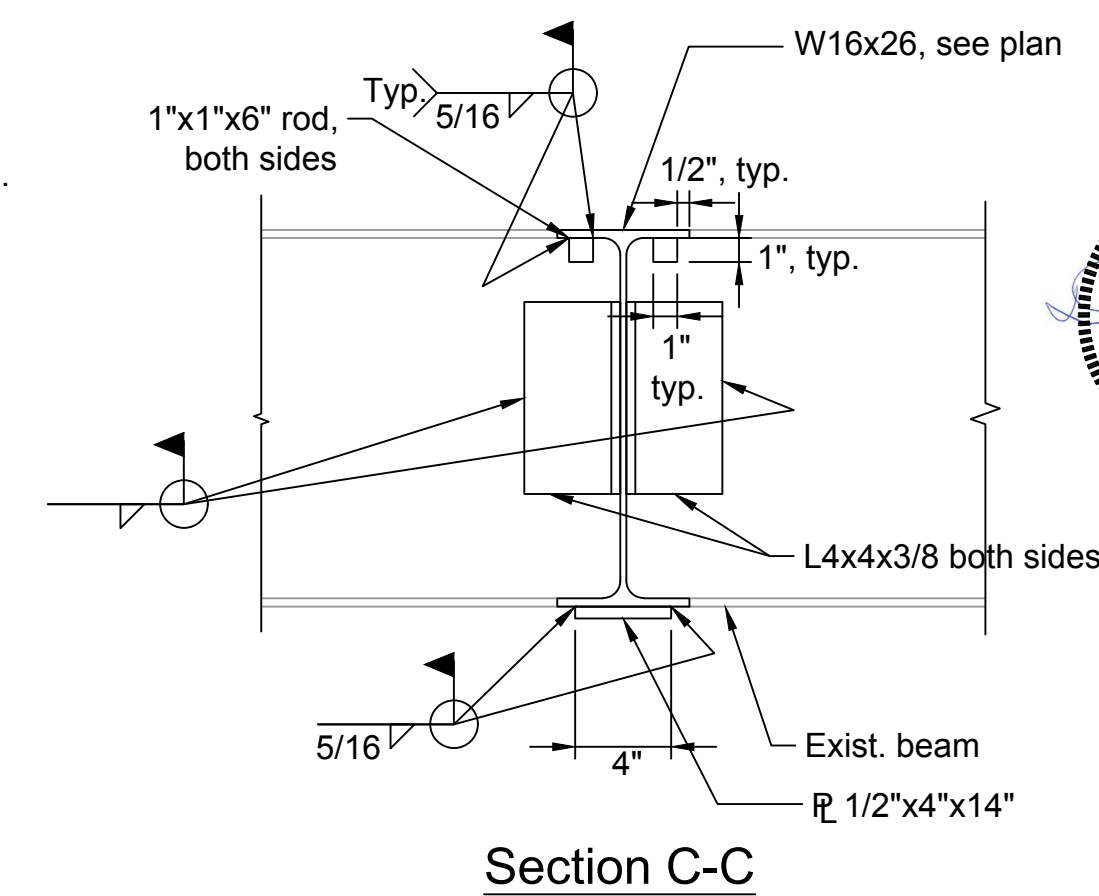
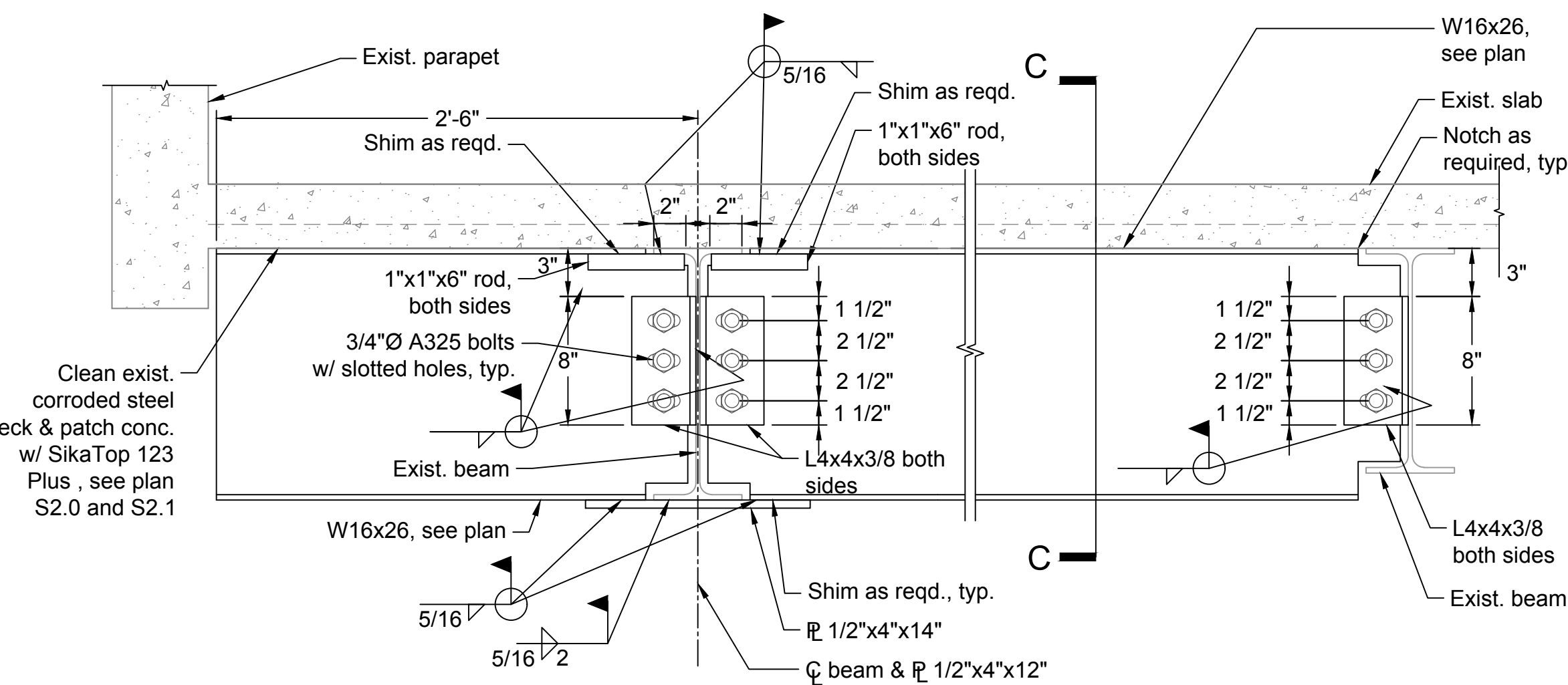
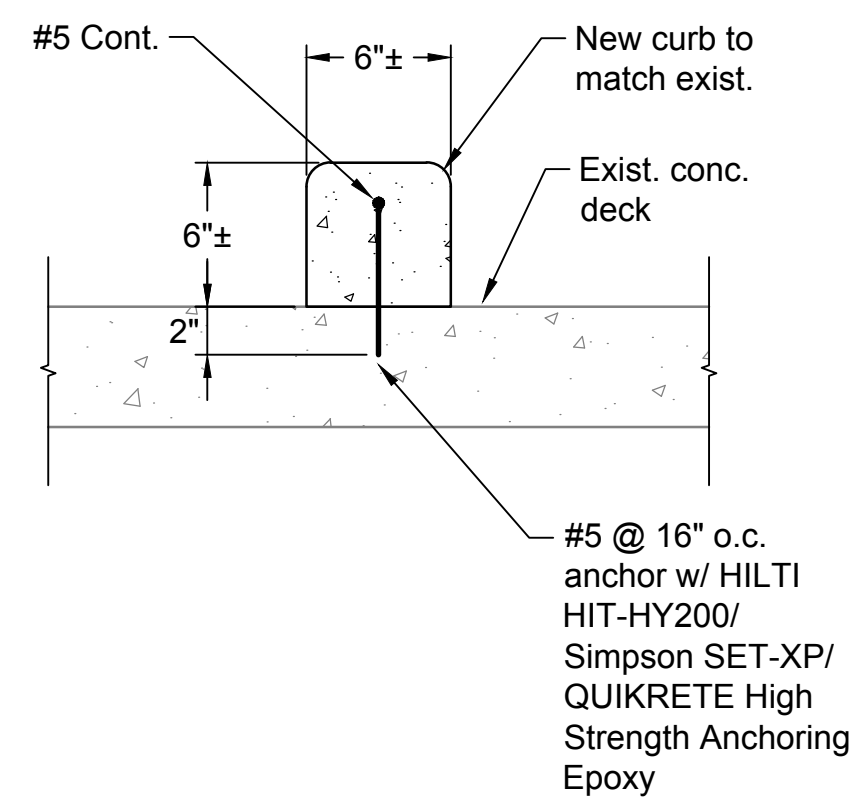
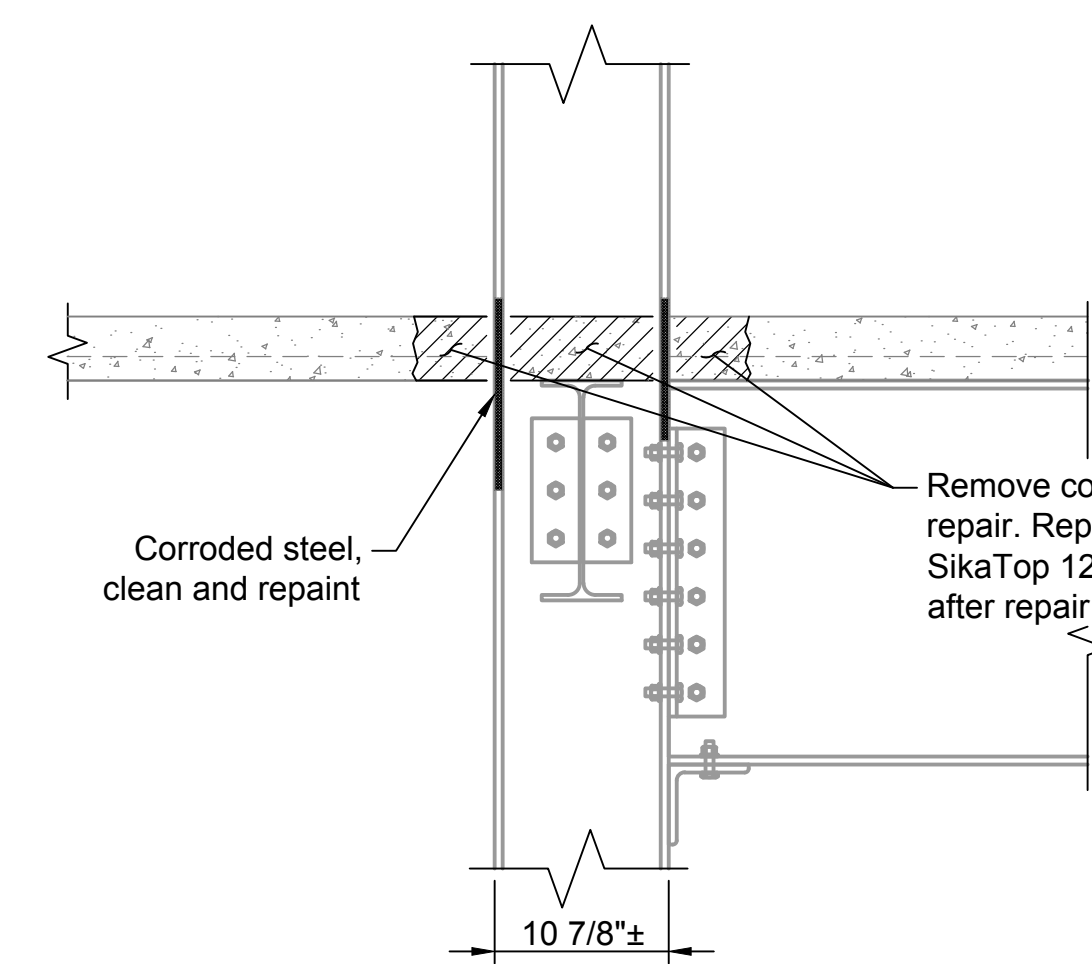
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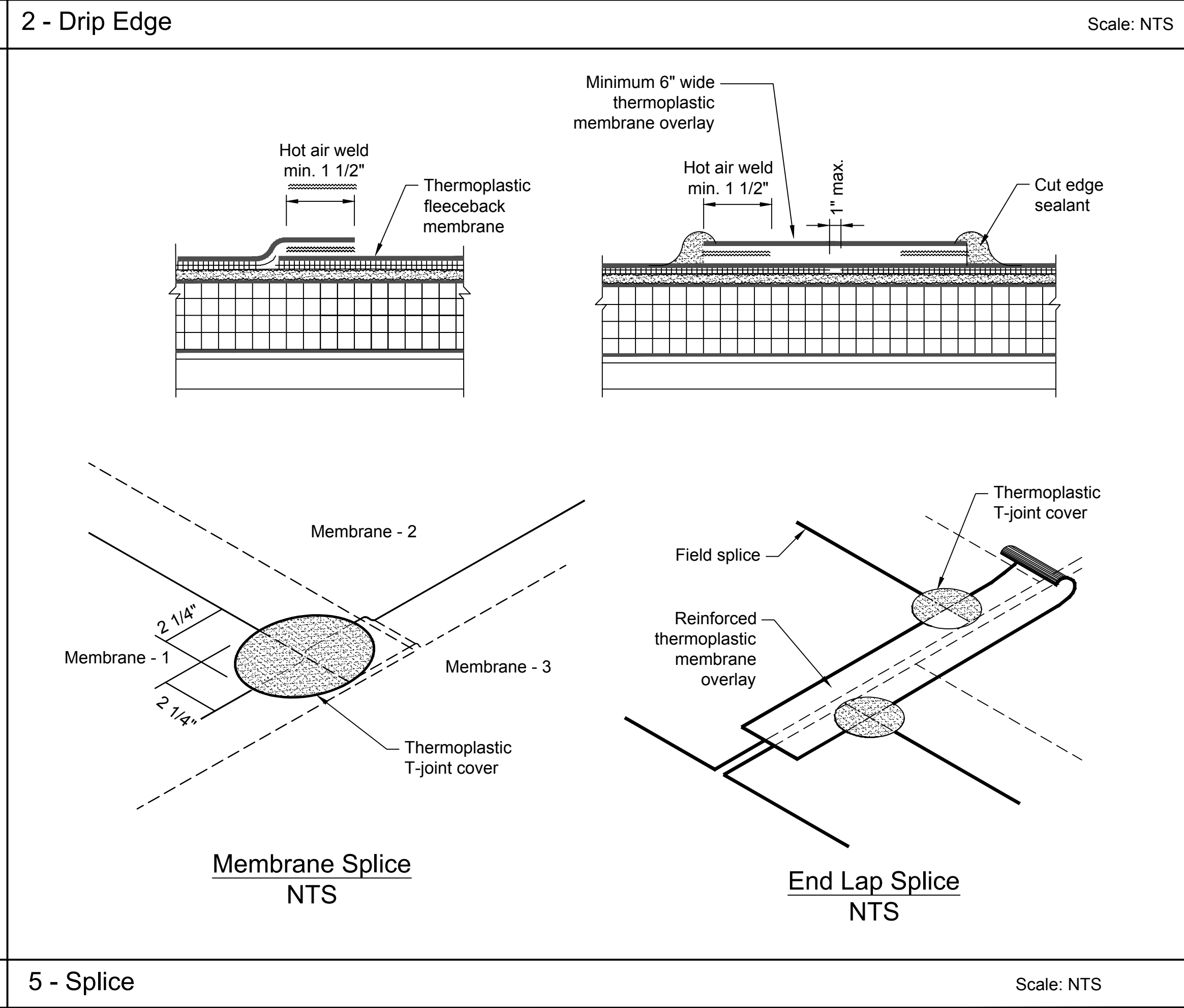
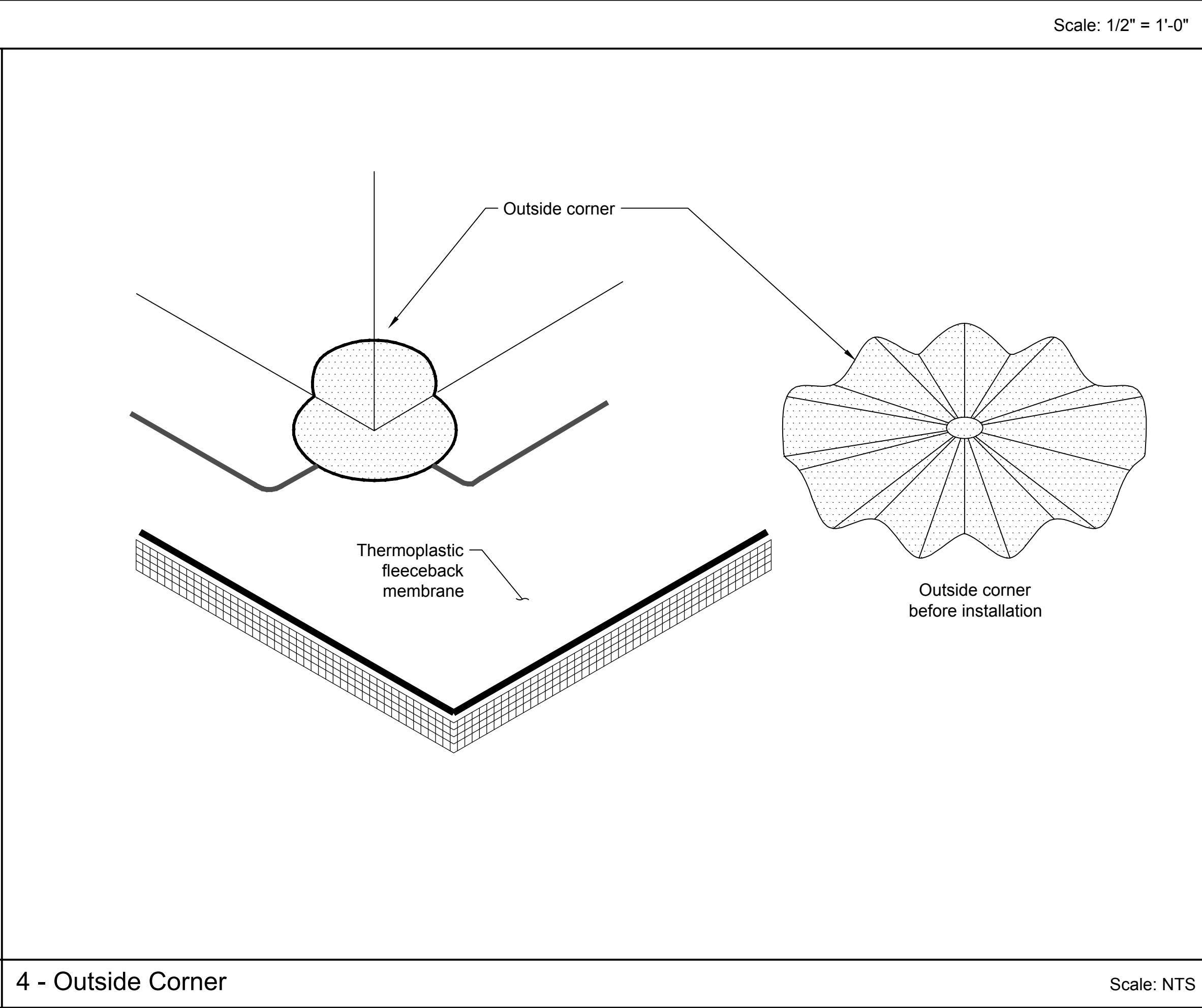
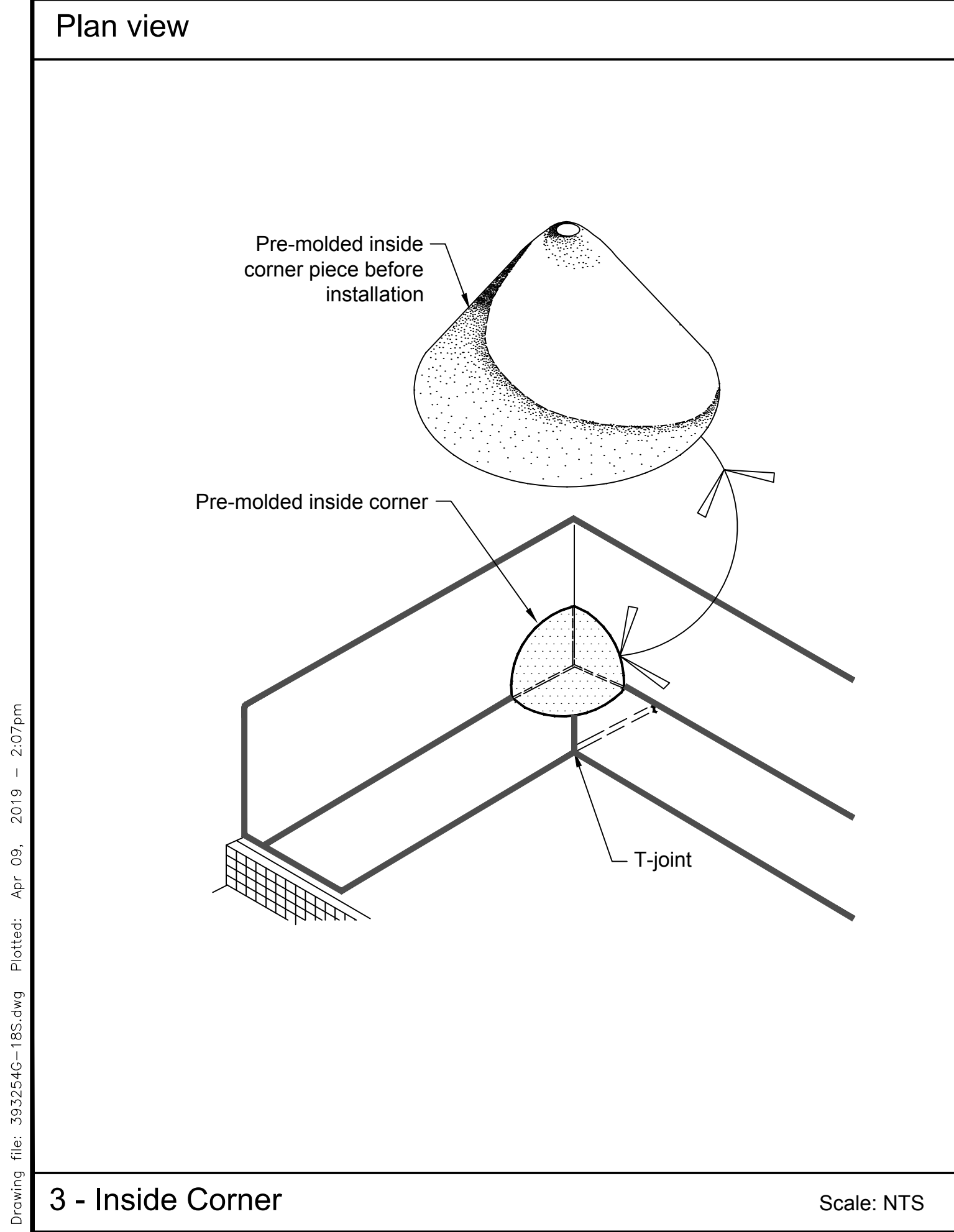
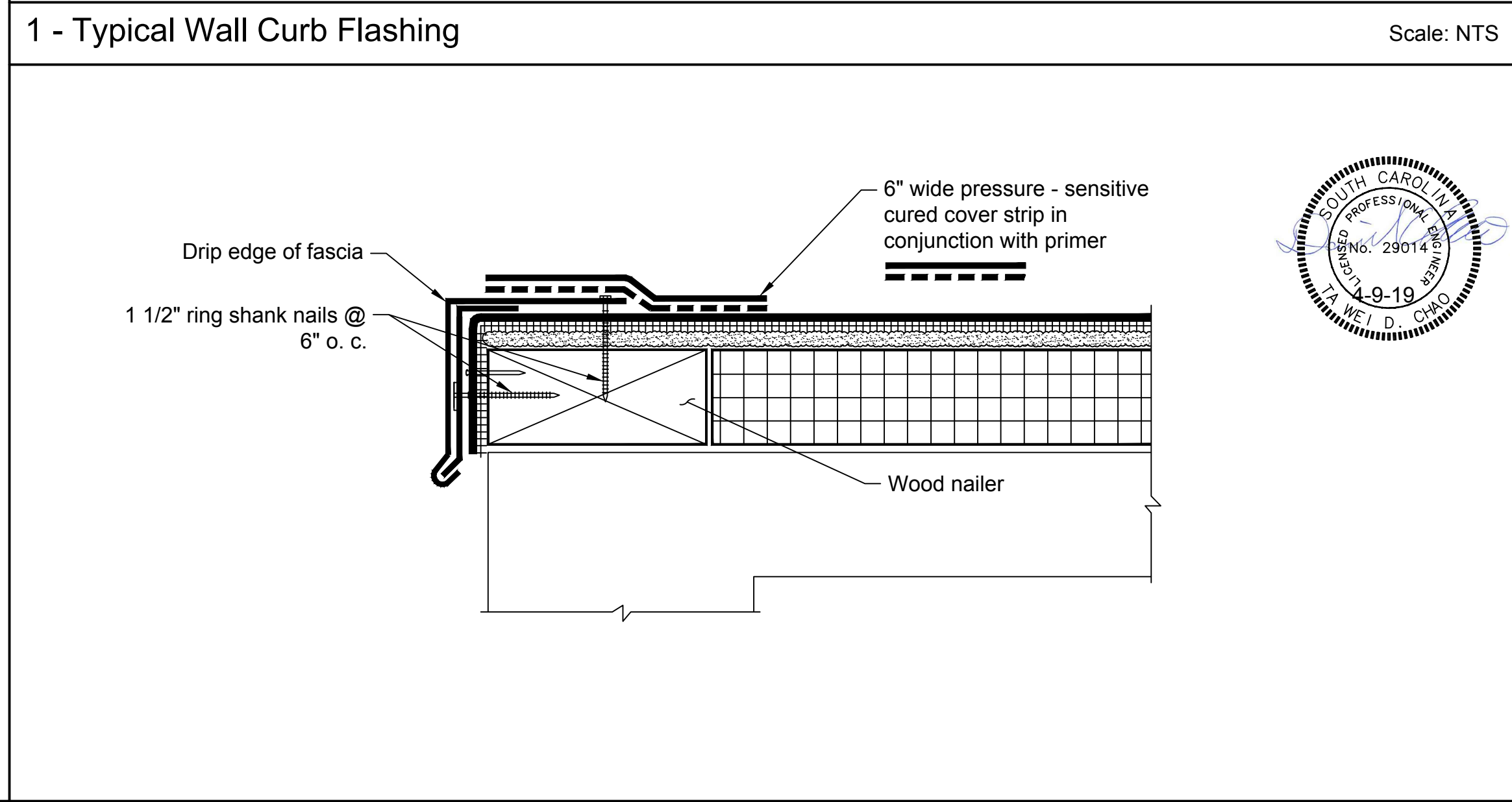
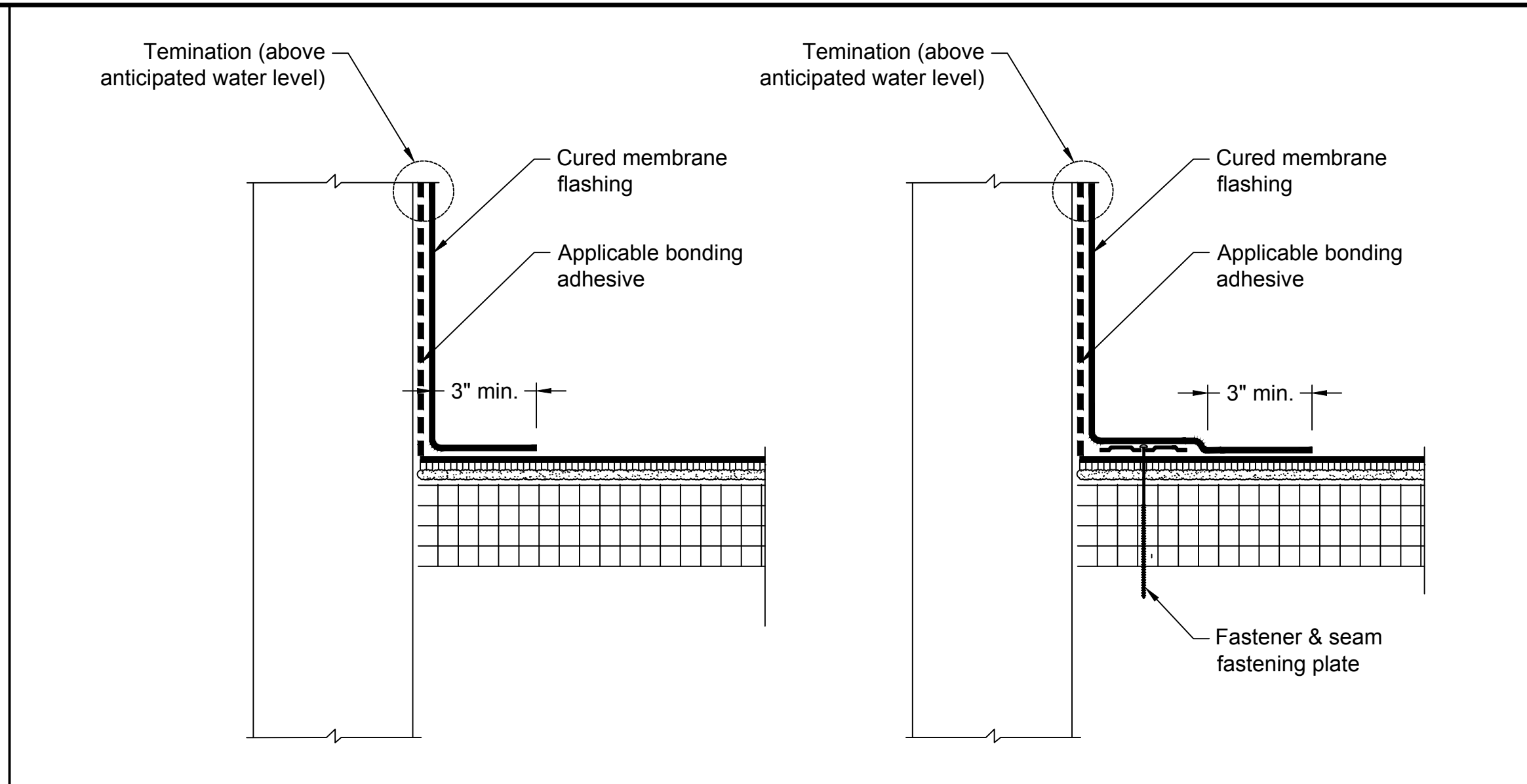
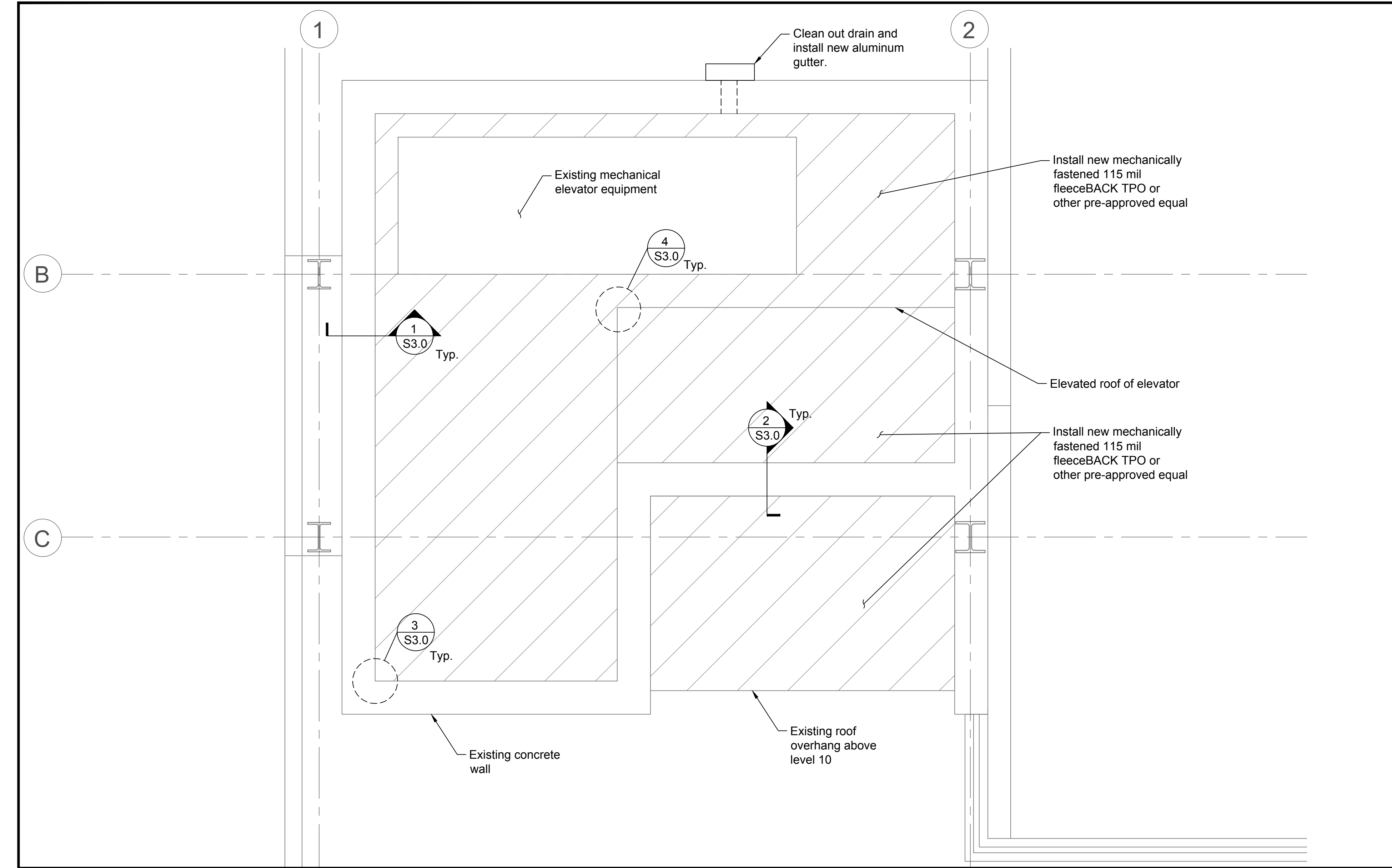




1. Saw cut, chip the concrete to expose 360° around the rusted rebar when applicable.
2. Clean the rebar and concrete surface per product manufacturer's recommendation.
3. Apply two coats of anti-corrosion/ bonding agent (Sika Armatec 110 EpoCem / MasterEpoC P124 / Mapeflex 1K or prior approved equal) in accordance with manufacturer's specifications.
4. Trowel/ form and pump apply patching mortar (Sikatop 123 Plus / MasterEpoC N 425 / Planitop 23 or prior approved equal) in accordance with product manufacturer's specification. The mortar shall be suitable for vertical/overhead use accordingly.






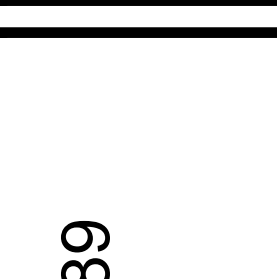
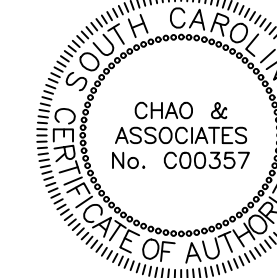


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**Chao & Associates, Inc.**  
Civil - Structural - Survey  
7 Clusters Court  
Columbia, SC 29210  
Voice: (803) 772-8420  
Fax: (803) 772-9120  
Email: [consul@chaoinc.com](mailto:consul@chaoinc.com)



**Reroofing Plan, Sections and Details**  
**Hampton St. Parking Garage PN: H27-Z389**  
**Columbia, South Carolina**

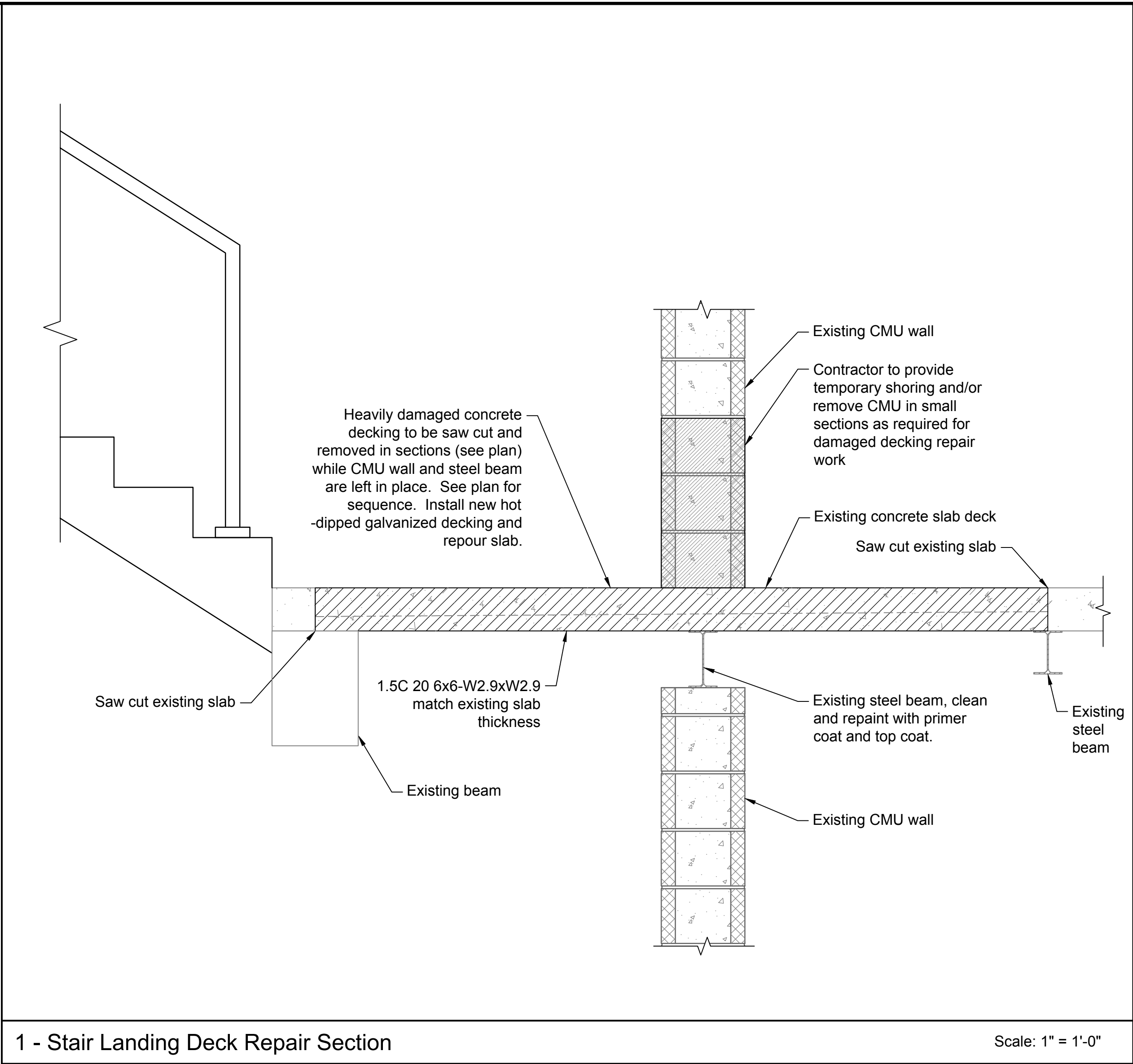
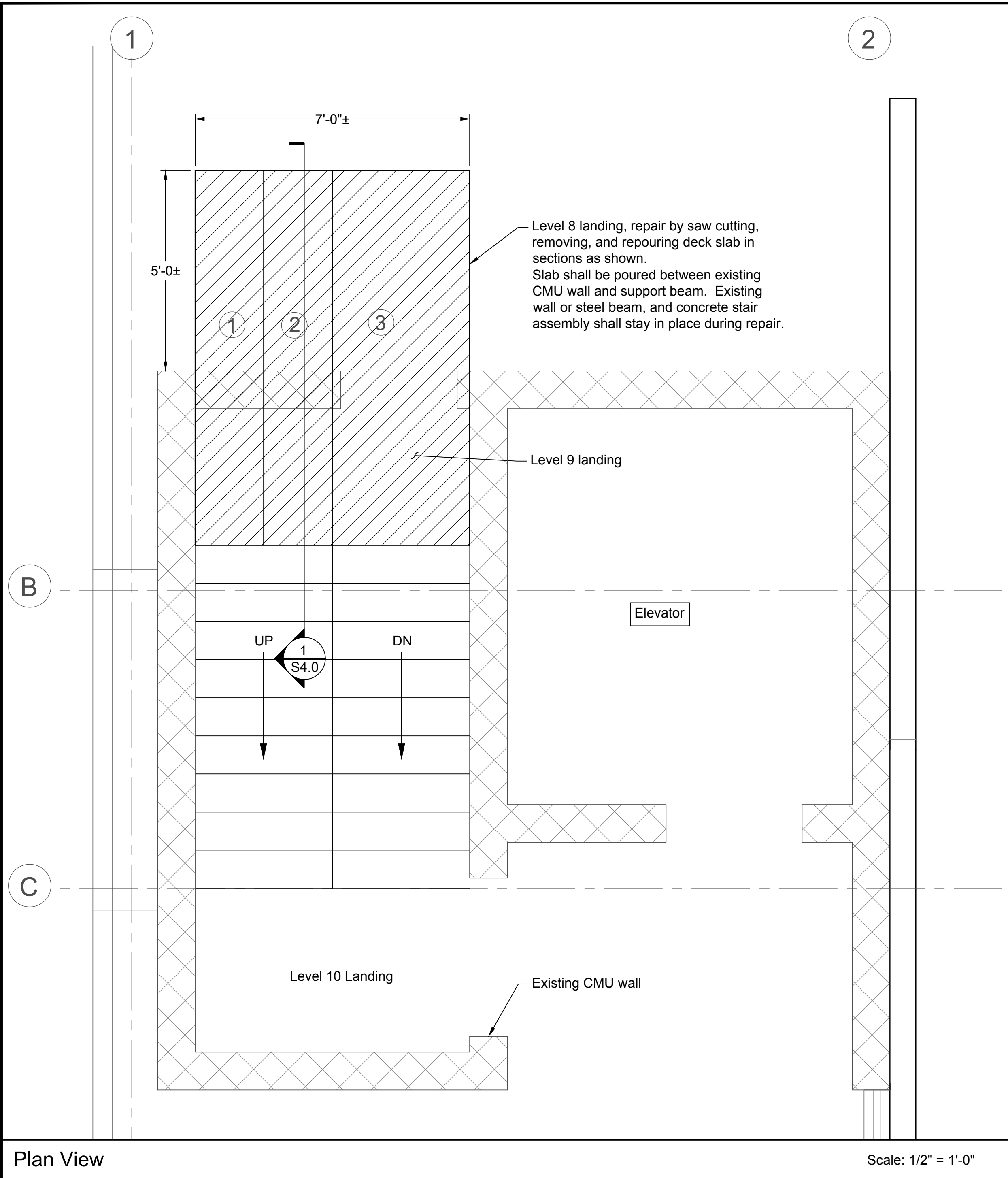
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CONSULTING ENGINEERS & LAND SURVEYORS

Chao & Associates, Inc.  
Civil - Structural - Survey  
7 Clusters Court  
Columbia, SC 29210  
Voice: (803) 772-8420  
Fax: (803) 772-9120  
Email: [consul@chaoinc.com](mailto:consul@chaoinc.com)

Level 9 Deck & Landing Repair. Plan and Section  
Hampton St. Parking Garage PN: H27-Z389  
Columbia, South Carolina

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